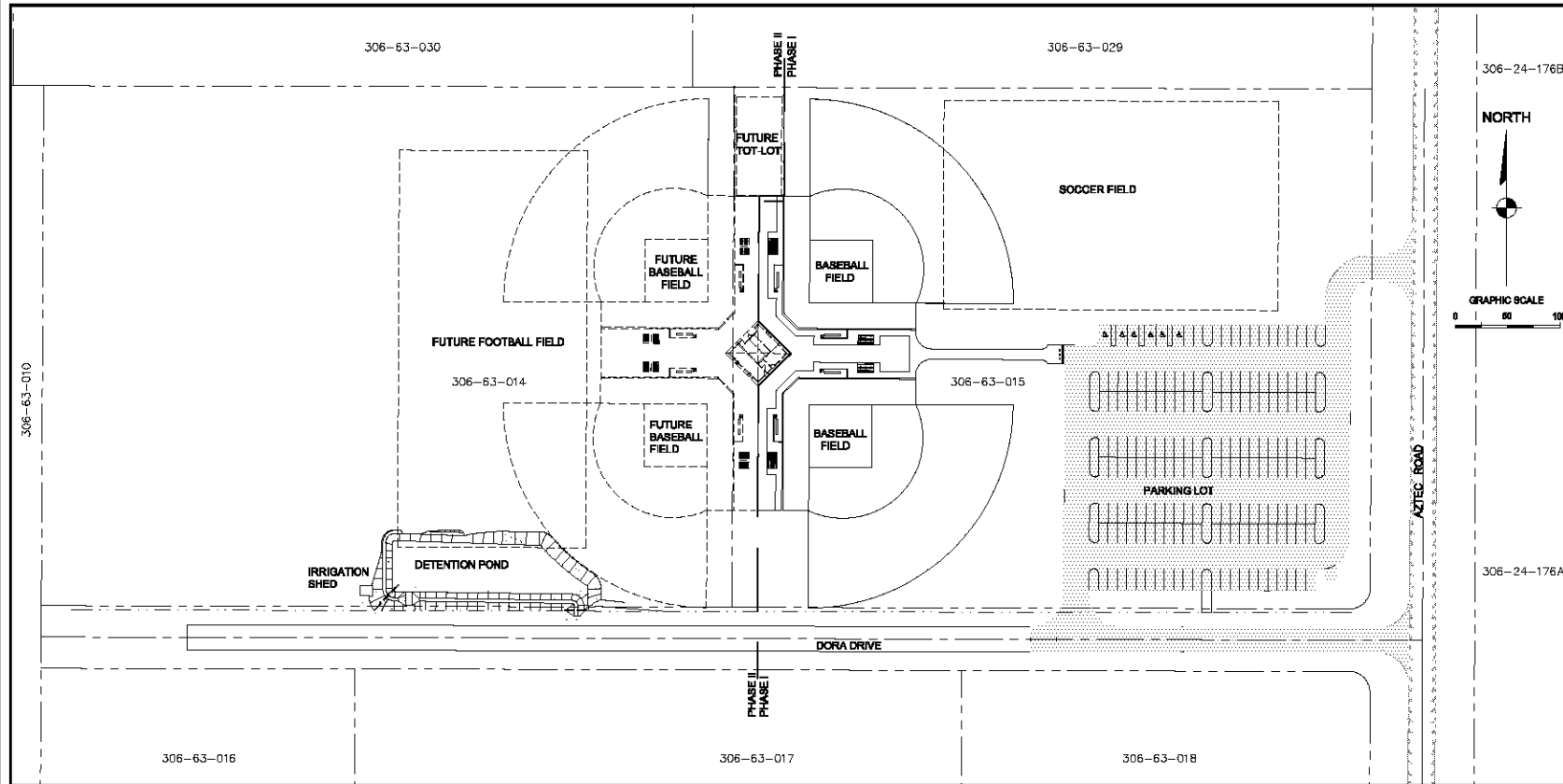


11 ACRE AZTEC PARK FOR RHODES HOMES ARIZONA, LLC



SHEET INDEX

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EG-2	DETENTION POND PLAN AND PROFILE
PP-1	DORA DRIVE PLAN AND PROFILE SHEET
HC-1	HORIZONTAL CONTROL SHEET
TC-1	TRAFFIC CONTROL PLAN

NOTE:

FOR LANDSCAPING PLANS, SEE PLANS PREPARED BY:
LARSON & ASSOCIATES
4058 INDUSTRIAL RD.
LAS VEGAS, NV 89103
PHONE (702) 736-4652
FAX (702) 736-8753

UTILITIES

SEWAGE DISPOSAL:	(TO BE DETERMINED)
WATER:	(TO BE DETERMINED)
ELECTRICITY:	UNISOURCE ENERGY
TELEPHONE:	FRONTIER COMM.
GAS:	UNISOURCE ENERGY
SOLID WASTE COLLECT:	WASTE MANAGEMENT
SOLID WASTE DISPOSAL:	MOHAVE COUNTY
FIRE PROTECTION:	GOLDEN VALLEY DIST.

2498 AIRWAY AVENUE	(928) 681-4129
2202 STOCKTON HILL	(928) 753-3000
2498 AIRWAY AVENUE	(928) 681-4129
3250 GATLIN DRIVE	(928) 718-4900
201 N. 4TH STREET	(928) 753-0723
3327 N. MAYER RD.	(928) 565-3479

LEGAL DESCRIPTION

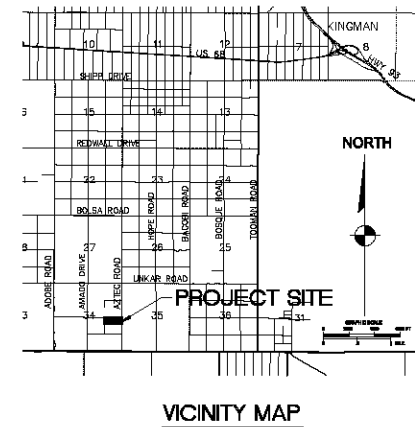
A DIVISION OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4
OF SECTION 34, TOWNSHIP 21 NORTH, RANGE 18 WEST,
GILA AND SALT RIVER MERIDIAN, MOHAVE COUNTY, ARIZONA

BASIS OF BEARINGS

NORTH 00°12'47" EAST — THE EAST LINE OF THE SOUTHEAST QUARTER (SE 1/4)
OF SECTION 27, TOWNSHIP 21 NORTH, RANGE 18 WEST, GILA & SALT RIVER
MERIDIAN, MOHAVE COUNTY, ARIZONA, AS DETERMINED BY THE ARIZONA
COORDINATE SYSTEM OF 1983 (AZ83-WF), WEST ZONE, INTERNATIONAL FOOT,
UTILIZING FAST STATIC OBSERVATIONS PROCESSED BY NGS-OPUS. M.C.S.D. "SD
35" = LATITUDE 35°09'22.43032"N, LONGITUDE 114°10'58.56309"W (NAD '83)
HEIGHT 2466.56824ft (NAVD'88)

BENCHMARK

BENCHMARK # "AZT 5" M.C.S.D.
ELEVATION = 2659.468ft (NGVD '29)
CONVERSION = 2662.014ft (NAVD '88) - 2.546 = 2659.468ft (NGVD '29)
DESCRIPTION: 1 1/2" ALUMINUM CAP IN CONCRETE STAMP MOHAVE COUNTY
1999 "RLS 10343", LOCATED AT THE SOUTHWEST CORNER OF AZTEC ROAD &
BOLSA DRIVE.



OWNER

SOUTH DAKOTA CONSERVANCY, LLC
4730 S. FORT APACHE RD
SUITE 300
LAS VEGAS, NEVADA 89147
(702) 873-8538

DEVELOPER

RHODES HOMES ARIZONA, LLC
2215 HUALAPAI MTN. RD.
SUITE H
KINGMAN, ARIZONA 86401
(928) 718-2210

ENGINEER / SURVEYOR

STANLEY CONSULTANTS, INC.
5820 S. EASTERN AVENUE
SUITE 200
LAS VEGAS, NEVADA 89119
(702) 369-9396



SCALE (H) AS NOTED
SCALE (V) NA
DRAWN BY VMD
CHECKED BY MPB
DATE 11-15-2009

3620 S. Eastern Avenue, Suite 300
Las Vegas, Nevada 89119
(702) 369-9396
www.stanleygroup.com

Stanley Consultants, Inc.

RHODES HOMES ARIZONA, LLC

AZTEC PARK
COVER SHEET

ARIZONA

MOHAVE COUNTY

SHEET
G-1
1 OF 10 SHEETS
SC PROJECT#
18182.01.00

GENERAL NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH MOHAVE COUNTY STANDARD SPECIFICATIONS AND STANDARD DETAILS, AND OTHER COUNTY ADOPTED STANDARDS, UNLESS OTHERWISE APPROVED BY THE COUNTY ENGINEER, OR UNLESS APPROVED AS A FECTION OF EXCEPTION BY HEARING OF THE PLANNING AND ZONING COMMISSION AND THE BOARD OF SUPERVISORS.
- THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY USE PERMIT FOR ANY WORK TO BE PERFORMED WITHIN THE RIGHT-OF-WAY UNDER THE OWNERSHIP OR CONTROL OF MOHAVE COUNTY. THE COUNTY RESERVES THE RIGHT OF SUPERINTENDENT INSPECTION OF ALL CONSTRUCTION ACTIVITIES PERFORMED WITHIN THE COUNTY RIGHT-OF-WAY. THE CONTRACTOR SHALL NOTIFY THE COUNTY BY A COURTESY CALL PRIOR TO ENGAGING ANY MAJOR CONSTRUCTION ACTIVITIES WITHIN THE COUNTY RIGHT-OF-WAY.
- THIS SET OF PLANS HAS BEEN REVIEWED FOR COMPLIANCE WITH COUNTY REQUIREMENTS PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS. HOWEVER, SUCH REVIEW SHALL NOT PREVENT THE COUNTY FROM REQUIRING CORRECTION OF ERRORS IN PLANS FOUND TO BE IN VIOLATION OF ANY LAW OR ORDINANCE. REVIEW AND APPROVAL OF PLANS DOES NOT RELEASE ANY DEVELOPER OR ENGINEER FROM RESPONSIBILITY FOR ERRORS OR OMISSIONS ON SAID PLANS.
- IMPROVEMENTS WILL NOT BE ACCEPTED UNTIL CERTIFIED RECORD DRAWINGS (AS-BUILTS), INCLUDING ALL TEST RESULTS, HAVE BEEN SUBMITTED AND ACCEPTED BY THE COUNTY.
- THE DEVELOPER, ANY SUCCESSORS, AND ASSIGNS, WILL HOLD THE COUNTY OF MOHAVE, ITS OFFICERS, EMPLOYEES, AND AGENTS HARMLESS FROM ANY AND ALL CLAIMS FOR DAMAGES RELATED TO THE USE OF THIS DEVELOPMENT AS SHOWN HEREON, NOW AND IN THE FUTURE, BY REASON OF FLOODING, FLOWAGE, EROSION, OR DAMAGE CAUSED BY WATER, WHETHER SURFACE FLOOD OR RAINFALL.
- DRAINAGE WILL REMAIN IN ITS NATURAL STATE AND WILL NOT BE ALTERED, DISTURBED, OR OBSTRUCTED OTHER THAN AS SHOWN ON THIS DEVELOPMENT PLAN.
- A FLOODPLAIN USE PERMIT AND FINISHED FLOOR ELEVATION CERTIFICATE ARE REQUIRED FOR ALL PARCELS LOCATED WITHIN THE FEMA DESIGNATED AREAS OF SPECIAL FLOOD HAZARD FOR THE 100-YEAR STORM.
- ANY RELOCATION, MODIFICATION, ETC., OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSARY BY PROPOSED DEVELOPMENT SHALL BE AT NO EXPENSE TO THE COUNTY.
- THE CONTRACTOR SHALL FOLLOW ALL BLUE STAKE LAWS AND NOTIFY BLUE STAKE (1-800-STAKE-IT), BEFORE DIGGING.
- ALL WORK SHALL CONFORM TO THE UNIFORM BUILDING CODE (UBC) AND ANY APPLICABLE LAWS, ORDINANCES, RULES AND REGULATIONS.
- WHERE SOIL IS TO BE REMOVED FROM THE SITE, THE CONTRACTOR SHALL DESIGNATE THE LOCATION WHERE THE FILL WILL BE PLACED AND OBTAIN A LETTER FROM THE OWNER OF THAT PROPERTY ALLOWING THE PLACEMENT OF THE MATERIAL. PLACEMENT OF THIS MATERIAL SHALL BE SUBJECT TO THE APPLICABLE REQUIREMENTS AND PERMITS OF THE GOVERNING JURISDICTION.
- ALL REQUIRED TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION AND THE LATEST EDITION OF THE ARIZONA SUPPLEMENT TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- EXCEPT FOR THE WORK PERFORMED UNDER THE TERMS OF A FRANCHISE, OR WORK PERFORMED BY A GOVERNMENTAL AGENCY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSURING THAT ALL WORK IS INSURED AND TESTED BY OR UNDER THE DIRECT SUPERVISION OF A PROFESSIONAL ENGINEER WHO SHALL HOLD A VALID REGISTRATION IN THE STATE OF ARIZONA.

SEWER

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE "UNIFORM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" AND "UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION" SPONSORED AND DISTRIBUTED BY THE MANICORP ASSOCIATION OF GOVERNMENTS (M.A.G.), AND IN ACCORDANCE WITH ARIZONA ADMINISTRATIVE CODE, TITLE 18, CHAPTER 9, TOGETHER WITH THESE PLANS.
- THE LOCATION OF UTILITIES SHOWN IS BASED UPON BEST INFORMATION AVAILABLE. THE LOCATIONS AS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES AND BURIED CABLES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION BY CALLING:
 - BLUE STAKE 1-800-STAKE-IT
 - AT LEAST 2 WORKING DAYS IN ADVANCE, THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES IN PROTECTING AND WORKING AROUND THEIR UTILITIES & SERVICE LINES.
- WATER/SEWER SEPARATION INCLUDING SERVICE LINES WITHIN THE RIGHT-OF-WAY SHALL MEET THE REQUIREMENTS OF MAG STANDARD DETAILS 300-1 AND 300-2 (LATEST REVISION). SEPARATION SHALL BE A MINIMUM OF 2' VERTICAL AND 8' HORIZONTAL.
- CONTRACTOR SHALL ACQUIRE & PAY FOR ALL NECESSARY PERMITS.
- SEWER MAIN PIPE AND SERVICE SHALL BE P.V.C. 304-36, MEETING THE REQUIREMENTS OF A.S.T.M. 3034 AND MAG SECTION 745. INSTALLATION SHALL BE IN ACCORDANCE WITH A.S.T.M. STANDARD SPECIFICATIONS 03321.
- REQUIRED MANHOLES SHALL BE CONSTRUCTED PER M.A.G. STANDARD DETAIL NO. 420.
- TRENCHING AND BACKFILL SHALL MEET THE REQUIREMENTS OF M.A.G. STANDARD SPECIFICATION NO. 601. COMPACTION DENSITIES SHALL BE 95% FROM THE SURFACE TO 2' BELOW SURFACE.
- ALL EXISTING STREET PAVEMENT DISTURBED BY CONSTRUCTION SHALL BE REPLACED IN ACCORDANCE WITH M.A.G. STANDARD DETAIL NO. 200.
- SHAPING OF ALL SEWER MANHOLE BOTTOMS SHALL BE PER M.A.G. STANDARD SPECIFICATIONS NO. 033.3.1.
- ALL MANHOLES AND DROP SEWER CONNECTIONS SHALL BE CONSTRUCTED AS REQUIRED BY M.A.G. SECTION 603. FOR MANHOLES THAT HAVE AN ELEVATION DROP BETWEEN INLET AND OUTLET BETWEEN 1' & 2.5', THERE SHALL BE CONSTRUCTED IN THE MANHOLE FLOOR A CONCRETE FILLET CHANNEL FROM THE INLET SIDE OF THE MANHOLE TO THE OUTLET SIDE WHICH SHALL HAVE A SLOPE AT A MINIMUM GRADE OF 2.5% TO PREVENT SOLIDS DEPOSIT. FOR A DROP IN EXCESS OF 2.5', REFER TO M.A.G. STANDARD DETAIL NO. 404.
- ALL SEWER SERVICE CONNECTIONS SHALL MEET THE REQUIREMENTS M.A.G. STANDARD DETAIL NO. 440. TYPE "A" NOTE, SEWER SERVICE CROSSING OF WATER MAIN WITHIN THE RIGHT OF WAY MAY REQUIRE PROTECTION PER MAG STD. DET. 404.
- SEWER CLEANOUT SHALL MEET THE REQUIREMENTS OF M.A.G. STANDARD DETAIL NO. 441.
- MINIMUM DEPTH OF COVER TO THE TOP OF SEWER PIPE SHALL NOT BE LESS THAN 3 FEET.
- UTILITY FACILITIES, SHOWN OR NOT SHOWN IN CONFLICT WITH THIS WORK SHALL BE RELOCATED BY THE GENERAL CONTRACTOR AS REQUIRED. THIS ACTIVITY SHALL BE COORDINATED WITH THE OWNER OF THE UTILITY TO PREVENT ANY UNNECESSARY INTERRUPTION OF SERVICE.

WATER

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE "UNIFORM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" AND "UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION" SPONSORED AND DISTRIBUTED BY THE MANICORP ASSOCIATION OF GOVERNMENTS (M.A.G.), AND IN ACCORDANCE WITH A.D.E.C. ENGINEERING BULLETIN NO. 10, TOGETHER WITH THESE PLANS.
- THE LOCATION OF UTILITIES SHOWN IS BASED UPON BEST INFORMATION AVAILABLE. THE LOCATIONS AS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES AND BURIED CABLES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION BY CALLING:
 - BLUE STAKE 1-800-STAKE-IT
 - AT LEAST 2 WORKING DAYS IN ADVANCE, THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES IN PROTECTING AND WORKING AROUND THEIR UTILITIES & SERVICE LINES.
- CONTRACTOR SHALL ACQUIRE & PAY FOR ALL NECESSARY PERMITS.
- WATER MAIN SHALL BE P.V.C. PIPE CLASS 150, MEETING THE REQUIREMENTS OF A.S.T.M. 3052.
- WATER LINES SHALL BE DISINFECTED IN ACCORDANCE WITH A.D.E.C. ENGINEERING BULLETIN NO. 8.
- WATER/SEWER SEPARATION SHALL MEET THE REQUIREMENTS OF R10-4-5000 (LATEST REVISION). SEPARATION SHALL BE A MINIMUM OF 2' VERTICAL AND 8' HORIZONTAL.
- TRENCHING AND BACKFILL SHALL MEET THE REQUIREMENTS OF M.A.G. STANDARD SPECIFICATION 601. COMPACTION DENSITIES SHALL BE 95% FROM THE SURFACE TO 2' BELOW SURFACE.
- CURB STOP WITH FLUSHING PIPES SHALL BE CONSTRUCTED AS REQUIRED BY M.A.G. STANDARD DETAIL NO. 380. TYPE "A", AS AMENDED BY THE CITY OF KINOAHL.
- ALL FITTINGS FOR WATER MAINS SHALL MEET THE REQUIREMENTS OF M.A.G. STANDARD SECTION 752.
- ALL THRUST BLOCKING FOR WATER LINES SHALL MEET THE REQUIREMENTS OF M.A.G. STANDARD DETAIL NO. 380.
- ALL BLOWING FOR WATER GATE VALVES SHALL MEET THE REQUIREMENTS OF M.A.G. STANDARD DETAIL NO. 301.
- PAYMENT FOR CONSTRUCTION SHALL BE MADE ON THE BASIS OF UNIT PRICE BID IN THE CONTRACTORS PROPOSAL. ALL ITEMS CALLED FOR ON THE PLANS BUT NOT LISTED IN BID ITEMS SHALL BE CONSIDERED INCIDENTAL. SAID ITEMS INCLUDE BUT ARE NOT LIMITED TO: WATER LINE BLOCKING, NON-METALLIC TAPE, TESTING, SALVAGING MATERIAL, EXISTING UTILITIES CLOSING, ETC.
- ALL TAPPING SLEEVES, VALVES AND VALVE BOXES ON WATERLINES SHALL MEET THE REQUIREMENTS OF M.A.G. SPECIFICATIONS SECTION 830, AND M.A.G. STANDARD DETAIL NO. 340.
- WATER METER COVERS SHALL MEET THE REQUIREMENTS OF M.A.G. STANDARD DETAIL NO. 310, AND WATER METER BOXES SHALL MEET THE REQUIREMENTS OF M.A.G. STANDARD DETAIL NO. 320.
- ALL FITTINGS AND VALVES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. ALL VALVES ARE TO BE PLUMB AND HAVE STRAIGHT ALIGNMENT.
- WATER MAIN SHALL BE TESTED IN ACCORDANCE WITH M.A.G. SECTION 810-14.
- ALL EXISTING STREET PAVEMENT DISTURBED BY CONSTRUCTION SHALL BE REPLACED IN ACCORDANCE WITH M.A.G. STANDARD DETAIL NO. 200-1.
- UTILITY FACILITIES, SHOWN OR NOT SHOWN IN CONFLICT WITH THIS WORK SHALL BE RELOCATED BY THE GENERAL CONTRACTOR AS REQUIRED. THIS ACTIVITY SHALL BE COORDINATED WITH THE OWNER OF THE UTILITY TO PREVENT ANY UNNECESSARY INTERRUPTION OF SERVICE.

STREET

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE "UNIFORM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" AND "UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION" SPONSORED AND DISTRIBUTED BY THE MANICORP ASSOCIATION OF GOVERNMENTS (M.A.G.), UNLESS OTHERWISE NOTED ON THE PLANS.
- ALL DENSITY REQUIREMENTS FOR STREETS SHALL MEET THE REQUIREMENTS OF M.A.G. SPECIFICATION 301 AND M.A.G. SPECIFICATION 301 FOR ALL WATER AND SEWER TRENCHES. COMPACTION DENSITIES SHALL BE 95% FROM THE SURFACE TO 2' BELOW SURFACE.
- THE EXACT LOCATION OF UTILITIES SHOWN IS BASED UPON BEST INFORMATION AVAILABLE. THE LOCATION AS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES AND BURIED CABLES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION BY CALLING:
 - BLUE STAKE 1-800-STAKE-IT
 - AT LEAST 2 WORKING DAYS IN ADVANCE, THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES IN PROTECTING AND WORKING AROUND THEIR UTILITIES & SERVICE LINES.
- ALL BACKFILL, PAVEMENT AND SURFACE REPLACEMENT SHALL MEET THE REQUIREMENTS OF M.A.G. STANDARD DETAIL NO. 200-1 AND M.A.G. STANDARD SPECIFICATION SECTION 338. ALL TRENCHES SHALL MEET CSA REQUIREMENTS.
- CONTRACTOR SHALL REPLACE ANY INADEQUATE SUBGRADE MATERIAL WITH APPROPRIATE BACKFILL AS DIRECTED BY THE PROJECT ENGINEER.
- ALL STREET APPROPRIATE BASE SHALL MEET THE REQUIREMENTS OF M.A.G. SECTION 310.
- ALL ASPHALT CONCRETE PAVEMENT SHALL MEET THE REQUIREMENTS OF M.A.G. STANDARD SECTION 321.
- FOG SEAL SHALL MEET M.A.G. STANDARD SECTION 333.
- CONCRETE CURB AND GUTTER SHALL MEET THE REQUIREMENTS OF M.A.G. STANDARD DETAIL 220.
- SIDEWALKS SHALL BE CONSTRUCTED AS REQUIRED BY M.A.G. STANDARD DETAIL NO. 220 & SHALL CONFORM WITH M.A.G. SPECIFICATION 340.
- ALL POURED CONCRETE STRUCTURES SHALL MEET THE REQUIREMENTS OF M.A.G. STD SPECIFICATIONS, SECTION 305.
- THE EXACT POINT OF MATCHING TERMINATION AND OVERLAY, IF ANY, SHALL BE DETERMINED IN THE FIELD BY THE PROJECT ENGINEER.
- THE PAVING CONTRACTOR SHALL BE RESPONSIBLE FOR THE ADJUSTMENT AND PLACEMENT OF CONCRETE COLLARS, FRAMES, COVERS, AND VALVE BOXES AS NECESSARY FOR A COMPLETE JOB AS APPROVED BY THE PROJECT ENGINEER.
- NO PAVING CONSTRUCTION SHALL BE STARTED UNTIL ALL UTILITY LINES ARE COMPLETED & APPROVED UNDER THIS PROPOSED PAVED AREA.
- BASE COURSE SHALL NOT BE PLACED UNTIL SUBGRADE HAS BEEN APPROVED BY THE PROJECT ENGINEER.
- NO JOB SHALL BE CONSIDERED COMPLETED UNTIL CURBS, PAVEMENTS AND SIDEWALKS HAVE BEEN SWEPT CLEAN OF ALL DIRT AND DEBRIS, AND SURVEY MONUMENTS ARE INSTALLED.
- EXISTING STREET AND STREET SIGNS WILL BE MAINTAINED DURING CONSTRUCTION AND RELOCATED BY THE CONTRACTOR AS DIRECTED BY THE PROJECT ENGINEER.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NEW TRAFFIC CONTROL SIGNS AND MARKINGS IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE LATEST EDITION OF THE ARIZONA SUPPLEMENT TO THE MANUAL ON TRAFFIC CONTROL DEVICES.

SITE GRADING

ALL CONSTRUCTION SHALL CONFORM WITH THE GEOTECHNICAL EVALUATION REPORT PREPARED BY: GEO TEX INC.
8833 ESCROWED ST., STE A
LAS VEGAS, NV 89119
(702) 887-1424
DATED: JULY 8, 2005
PROJECT NO. 9928E-LVS

FEMA FLOOD ZONE

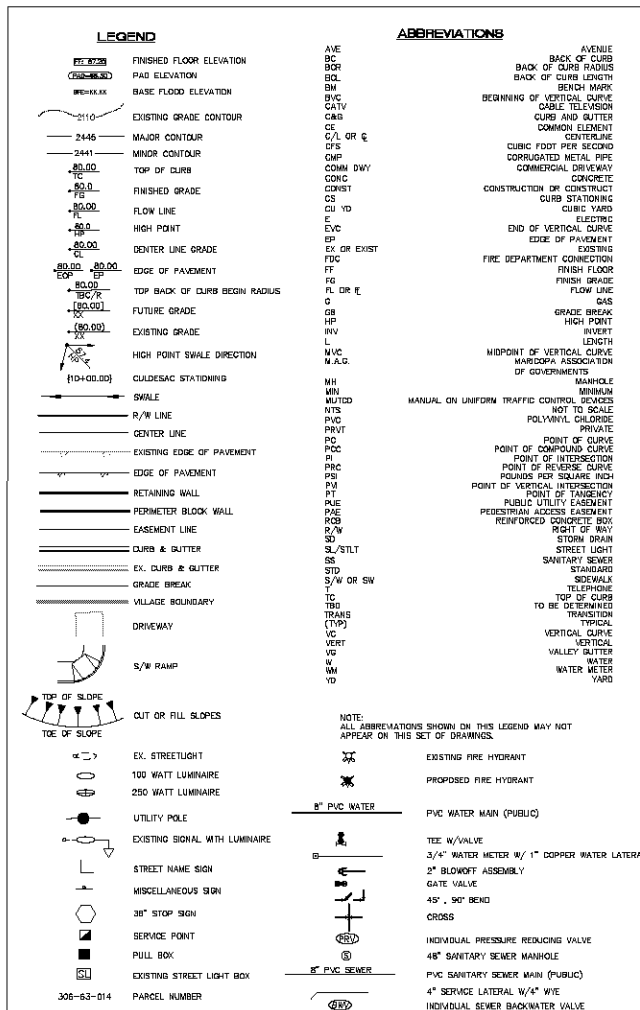
FLOOD ZONE DESIGNATION: FEMA-C
FLOOD ZONE: 100-YEAR FLOOD
A DEDICATED SPECIAL FLOOD HAZARD AREA.

DRAINAGE REPORT

DATED AUGUST, 2005 AND PREPARED BY:
STANLEY CONSULTANTS, INC.
5620 S. EASTERN AVE., SUITE 200
LAS VEGAS, NV 89119
(702) 388-9086

STORM WATER POLLUTION PREVENTION PLAN

DATED AUGUST, 2005 AND PREPARED BY:
STANLEY CONSULTANTS, INC.
5620 S. EASTERN AVE., SUITE 200
LAS VEGAS, NV 89119
(702) 388-9086

**DISCLAIMER NOTE**

UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UNDERGROUND OR OVER-HEAD UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.

Call before you dig
1-800-782-5348
(4-800-986-4141)

Call before you overhead
1-878-753-5591

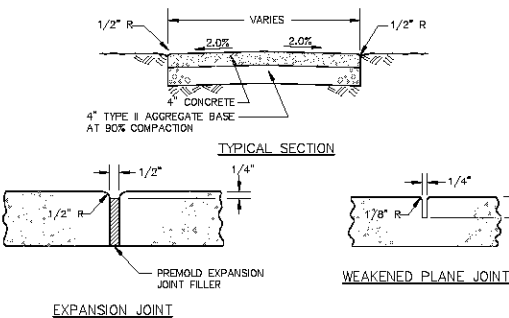
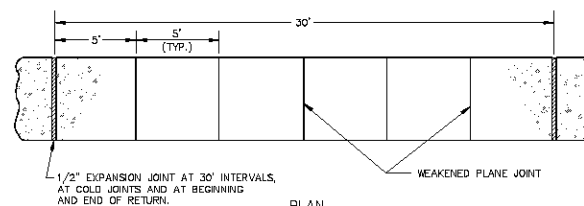
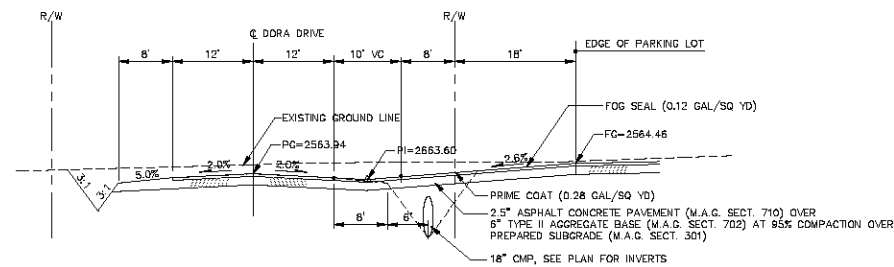
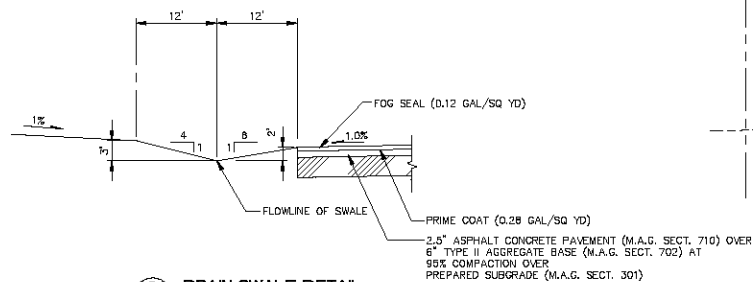
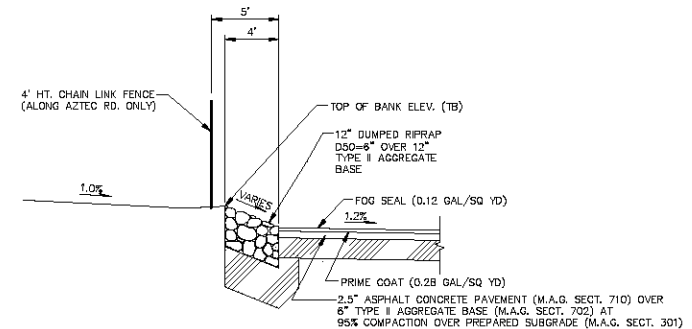
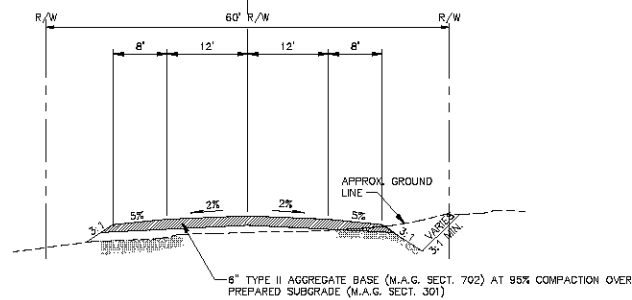
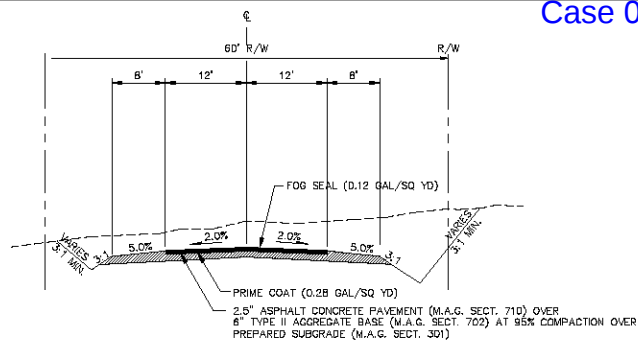


5600 S. Eastern Avenue, Suite 200
Las Vegas, Nevada 89119
(702) 388-9086
www.stanleyconsultants.com



RHODES HOMES ARIZONA, LLC
AZTEC PARK
GENERAL NOTES AND ABBREVIATIONS
MOHAVE COUNTY

SHEET
Q-2
2 OF 10 SHEETS
SCI PROJECT# 18162.01.00



- NOTES:**
1. ALL AGGREGATE BASE TO BE COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 95% AT OR BELOW OPTIMUM MOISTURE CONTENT.
 2. ALL SUBGRADE MATERIALS FOR PAVEMENT SECTIONS TO BE PROCESSED TO A MINIMUM DEPTH OF 12 INCHES AND COMPACTED TO A RELATIVE COMPACTION OF 90% NEAR OPTIMUM MOISTURE CONTENT.

- NOTES:**
1. SIDEWALK CONSTRUCTION SHALL CONFORM TO M.A.G. SPECIFICATION 340.
 2. EXPANSION JOINT FILLER SHALL BE 1/2" BITUMINOUS TYPE PREMOULD EXPANSION JOINT FILLER, A.S.T.M. D-1751.



SCALE (H) NA	SCALE (V) NA	DRAWN BY VMD	CHECKED BY MPB	DATE 11-15-2005

SCALE (H) NA	SCALE (V) NA	DRAWN BY VMD	CHECKED BY MPB	DATE 11-15-2005

5500 S. Eastern Avenue, Suite 300
Phoenix, Arizona 85044
(602) 998-1100
www.stanleyconsultants.com

Stanley Consultants Inc.

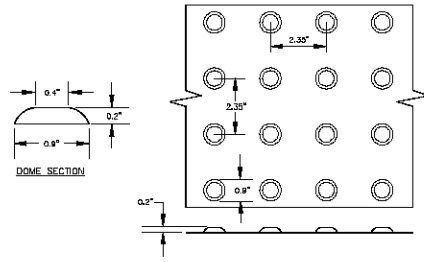
RHODES HOMES ARIZONA, LLC

AZTEC PARK DETAILS

ARIZONA

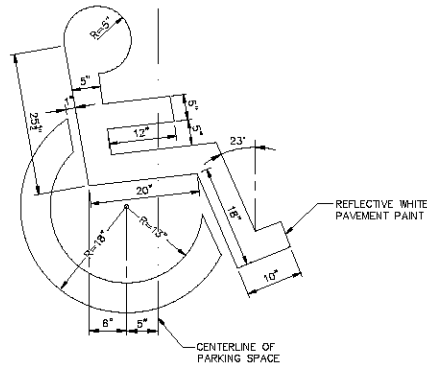
MICHIGAN COUNTY

SHEET
DT-1
3 OF 10 SHEETS
SCI PROJECT#
18162.01.00

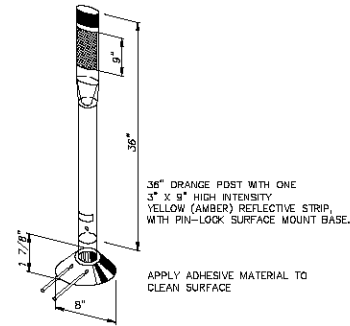


NOTE:
DETECTABLE WARNING CONSISTING OF TRUNCATED DOMES WHICH COMPLY WITH THE DETAIL ABOVE AND CONTRASTING VISUALLY WITH ADJOINING SURFACES SHALL BE PLACED AT THE BEGINNING OF THE SIDEWALK EXTENDING THE FULL WIDTH OF THE SIDEWALK AND TO MINIMUM DEPTH OF 36 INCHES.

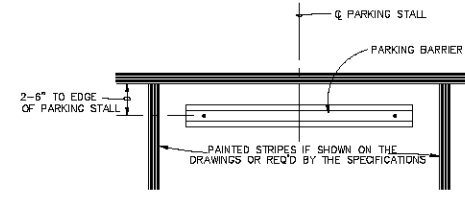
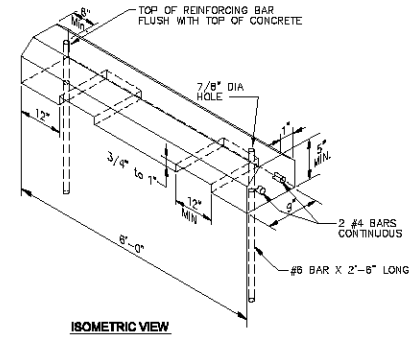
H DETECTABLE WARNING DETAILS
PUBLIC STREET
N.T.S.



I ACCESSIBLE SYMBOL DETAIL
PUBLIC STREET
N.T.S.



J FLEXIBLE CHANNELIZER POST
N.T.S.



K PRECAST CONCRETE PARKING BARRIER
N.T.S.



DATE	BY	APP'D BY	DATE

SCALE (H) NA	SCALE (V) NA	DRAWN BY VMD	CHECKED BY MPB	DATE 11-15-2005
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5500 S. Eastern Avenue, Suite 200
Phoenix, Arizona 85041
Tel: (602) 998-1100
Fax: (602) 998-1101
www.stanleyconsultants.com

Stanley Consultants Inc.

RHODES HOMES ARIZONA, LLC

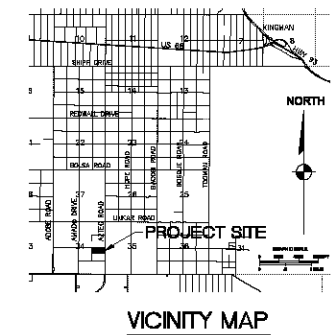
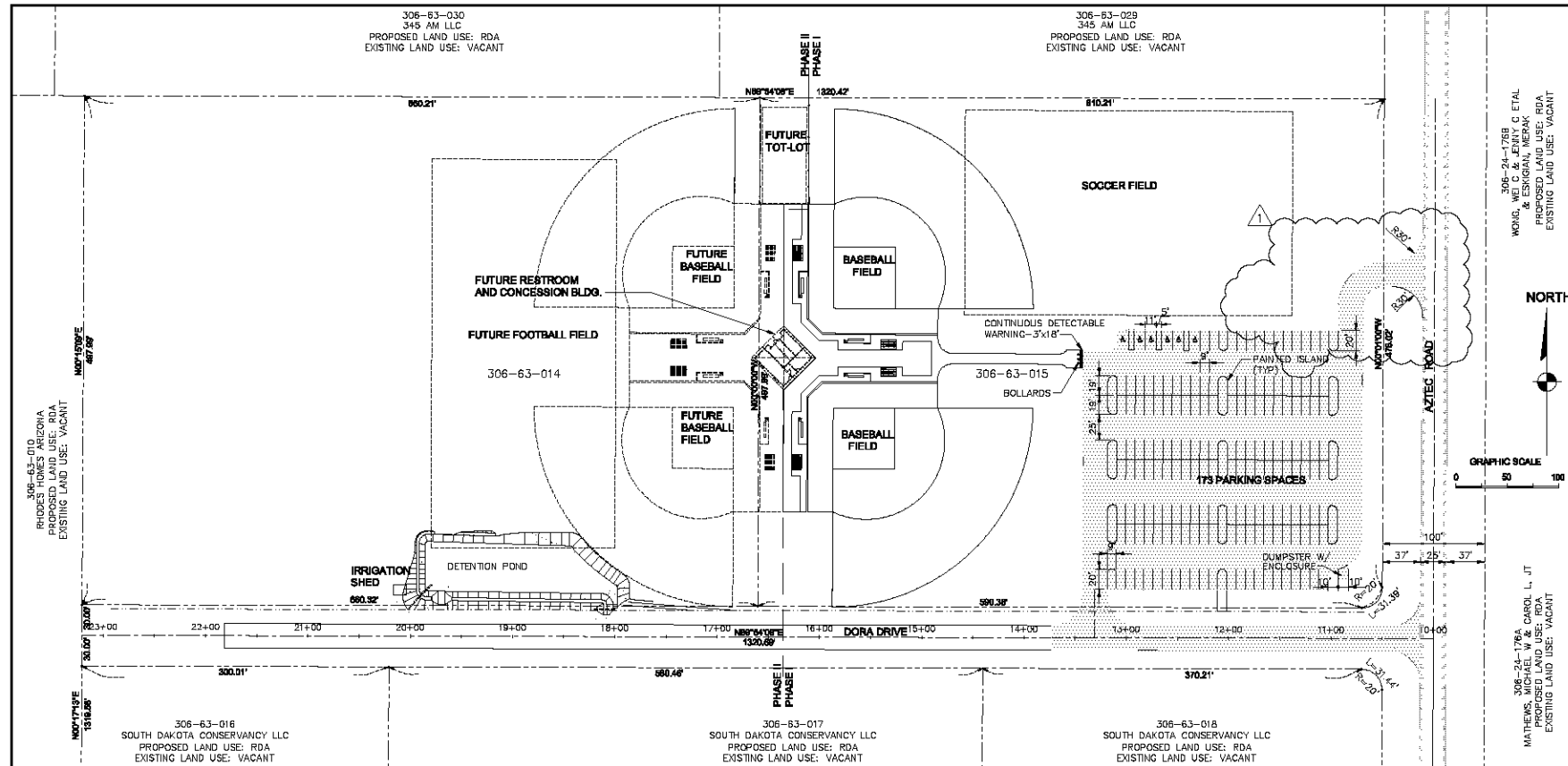
AZTEC PARK DETAILS

MOHAVE COUNTY

ARIZONA

SHEET DT-2
4 OF 10 SHEETS
SCI PROJECT# 18162.01.00

SITE PLAN FOR AZTEC PARK



SITE INFO:

EXISTING LAND USE: RDA
PROPOSED LAND USE: RDA
PARCEL NO'S: 306-63-014
306-63-015
ACREAGE: 11 ACRES ±
CURRENT ZONING: (R-P) REGIONAL PARK
(EFFECTIVE NOV. 7, 2005)

OWNER

SOUTH DAKOTA CONSERVANCY, LLC
4730 S. FORT APACHE RD
SUITE 300
LAS VEGAS, NEVADA 89147
(702) 873-5538

DEVELOPER

RHODES HOMES ARIZONA, LLC
2215 HUAPAI MTN. RD.
SUITE H
KINGMAN, ARIZONA 86401
(928) 718-2210

LEGAL DESCRIPTION

A DIVISION OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 34, TOWNSHIP 21 NORTH, RANGE 18 WEST, GLA AND SALT RIVER MERIDIAN, MOHAVE COUNTY, ARIZONA

BASIS OF BEARINGS

NORTH 00°12'47" EAST - THE EAST LINE OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 27, TOWNSHIP 21 NORTH, RANGE 18 WEST, GLA & SALT RIVER MERIDIAN, MOHAVE COUNTY, ARIZONA, AS DETERMINED BY THE ARIZONA COORDINATE SYSTEM OF 1983 (AZ83-WF), WEST ZONE, INTERNATIONAL FOOT, UTILIZING FAST STATIC OBSERVATIONS PROCESSED BY NGS-OPUS. M.C.S.D. "SD 35" = LATITUDE 35°09'22.43032"N, LONGITUDE 114°10'58.56309"W (NAD '83) HEIGHT 2466.56824ft (NAVD'88)

BENCHMARK

BENCHMARK # "AZT 5" M.C.S.D.
ELEVATION = 2659.468ft (NGVD '29)
CONVERSION = 2662.014ft (NAVD '88) - 2.546 = 2659.468ft (NGVD '29)
DESCRIPTION: 1 1/2" ALUMINUM CAP IN CONCRETE STAMP MOHAVE COUNTY 1999 "RLS 10343", LOCATED AT THE SOUTHWEST CORNER OF AZTEC ROAD & BOLSA DRIVE.

UTILITIES

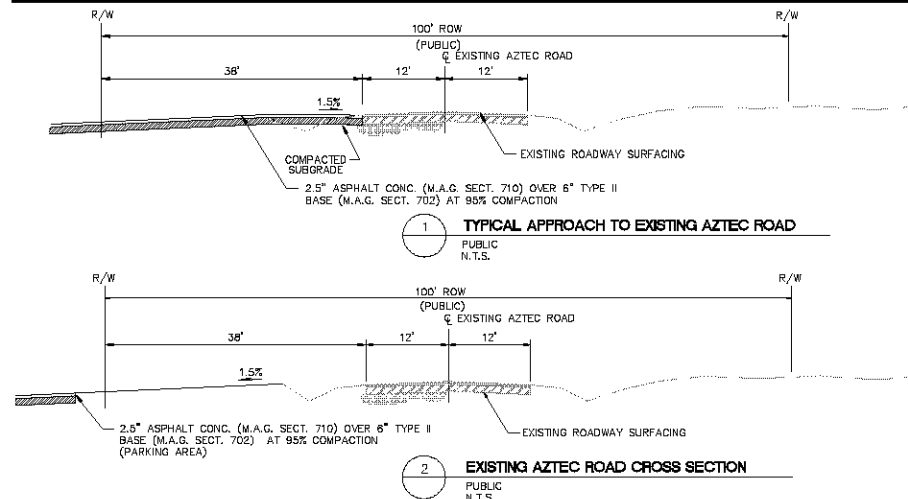
SEWAGE DISPOSAL:	(TO BE DETERMINED)		
WATER:	(TO BE DETERMINED)		
ELECTRICITY:	UNISOURCE ENERGY	2498 AIRWAY AVENUE	(928) 681-4129
TELEPHONE:	FRONTIER COMM.	2202 STOCKTON HILL	(928) 753-3000
GAS:	UNISOURCE ENERGY	2498 AIRWAY AVENUE	(928) 681-4129
SOLID WASTE COLLECT:	WASTE MANAGEMENT	3250 GATLIN DRIVE	(928) 718-4900
SOLID WASTE DISPOSAL:	MOHAVE COUNTY	201 N. 4TH STREET	(928) 753-0723
FIRE PROTECTION:	GOLDEN VALLEY DIST.	3327 N. MAYER RD.	(928) 565-3479

NOTES:

- ENGINEERED GRADING REQUIRED. SEE SHEET EG-1.
- ALL CONSTRUCTION SHALL CONFORM WITH GEOTECHNICAL EVALUATION REPORT DATED JULY 8, 2005, PREPARED BY: GEOTEK, INC. 6839 ESCONDIDO ST., SUITE A LAS VEGAS, NV 89119 (702) 897-1424
- DRAINAGE REPORT, REVISED NOVEMBER 2005, PREPARED BY: STANLEY CONSULTANTS, INC. 5820 S. EASTERN AVE, SUITE 200 LAS VEGAS, NV 89119 (702) 369-9396, DATED APRIL, 2005
- FEMA FLOOD ZONE DESIGNATION: ZONE C, FIRM PANEL NUMBER 0405082325. AZTEC PARK DOES NOT LIE WITHIN A DESIGNATED SPECIAL FLOOD ZONE AREA.
- STORM WATER POLLUTION PREVENTION PLAN, DATED AUGUST, 2005, PREPARED BY: STANLEY CONSULTANTS, INC. 5820 S. EASTERN AVE, SUITE 200 LAS VEGAS, NV 89119 (702) 369-9396, DATED APRIL, 2005
- THE FUTURE RESTROOM AND CONCESSIONS BUILDING TO BE CONSTRUCTED UNDER PHASE II. DETAILS TO BE SUBMITTED AT THAT TIME.
- SEE PLAN REFERENCE BELOW FOR ADDITIONAL DETAILS.

PLAN REFERENCE	SHEET NO.
DORA DRIVE	PP-1
ENGINEERED GRADING	EG-1
DETENTION POND DETAILS	EG-2
HORIZONTAL CONTROL	HC-1
PARKING LAYOUT	TC-1
SIGNS AND MARKINGS	TC-1
STORM DRAINAGE	EP-1

- FOR LANDSCAPING PLANS, SEE PLANS PREPARED BY: LARSON & ASSOCIATES 4085 INDUSTRIAL ROAD LAS VEGAS, NV 89103 (702) 736-4852





Stanley Consultants Inc.

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Las Vegas, Nevada 89119
(702) 369-9396
www.stanleygroup.com

ARIZONA

RHODES HOMES ARIZONA, LLC

AZTEC PARK

SITE PLAN

SCALE (H) AS NOTED
SCALE (V) 1"=10'
DRAWN BY: VMD
CHECKED BY: MPB
DATE: 11-15-2005

REVISED NORTH APPROACH
VMD MPB
DATE: 3/7/06

SHEET

SP-1

5 OF 10 SHEETS

SCI PROJECT# 18102.01.00

ASPHALTIC CONCRETE PAVING LIMITS.



SHEET
EG-1
6 OF 10 SHEETS
SCI PROJECT#
18150.01.00

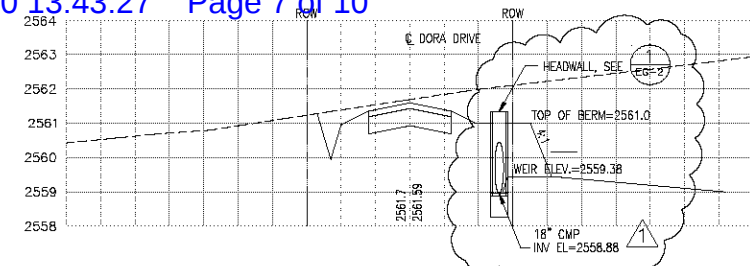
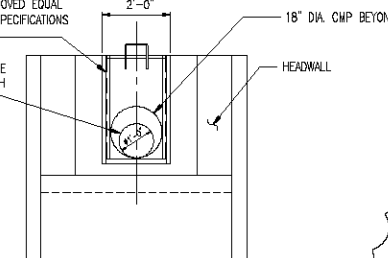


Diagram illustrating a cross-section of a road profile. The vertical axis shows elevations from 2557 to 2562. The profile includes a dashed line representing the top of the berm at elevation 2561.0, a solid line for the road surface, and a slope of $S=0.005$. A vertical curve is indicated by a dashed line with a slope of $1/2$.

Diagram illustrating the cross-section of a culvert structure, showing the 18" DIA. CMP (Culvert Pipe) and the 12" DIA. OPNG (Opening). The structure includes a METAL END SECTION, a TOP OF BERM (ELEV. 2561.00), an INVERT OUT (ELEV. 2558.76), a SLIDE GATE, a HEADWALL 18" CMP (STATE OF ARIZONA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS, STD. DWG. C-16.10), and a BOTTOM OF OPNG (ELEV. 2558.88). The headwall is labeled with ELEV. 2561.88. A north arrow is shown in the bottom right corner.

"WATERMAN" ALUMINUM STOP GATE, W/
FRAMES AND SLIDES PER ASTM B-209;
W/ FASTENERS OR ANCH. BOLTS
PER ASTM 276 OR APPROVED EQUAL
(SEE MANUFACTURER'S SPECIFICATIONS
AND INSTALLATION)



1

Profile view of the proposed road cross-section. The vertical axis shows elevations from 2555 to 2565. The horizontal axis represents the road width. Key features include:

- ROW** (Right of Way) at the top left.
- DORA DRIVE** crossing the road.
- 38.00'** dimension indicating the width of the road section.
- 1560.20 S+DR** (Stationing + Drive Right) at the center.
- TOP OF BERM = 2561.0** at the right edge.
- 1.5%** and **2%** slopes indicated on the right side.
- 2560.0**, **2560.84**, and **2560.60 G+R** (Grade + Right) elevations marked on the left side.
- FL E 2560.20** (Finish Elevation) at the bottom center.

SECTION D
HORIZ: $1''=20'$

SCALE (H) 1"=20'	A	REVISE PIPE SIZE AND WEIR	VND	MPB	3/7/06
SCALE (V) 1"-2"					
DRAWN BY VND					
CHECKED BY RJM					
DATE 11-15-2005					

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 **Stanley Consultants INC.**

RHODES HOMES ARIZONA, LLC

SHEET
EG-2
7 OF 10 SHEETS
SCI PROJECT#
18162.01.00

 ASPHALTIC CONCRETE PAVING LIMITS

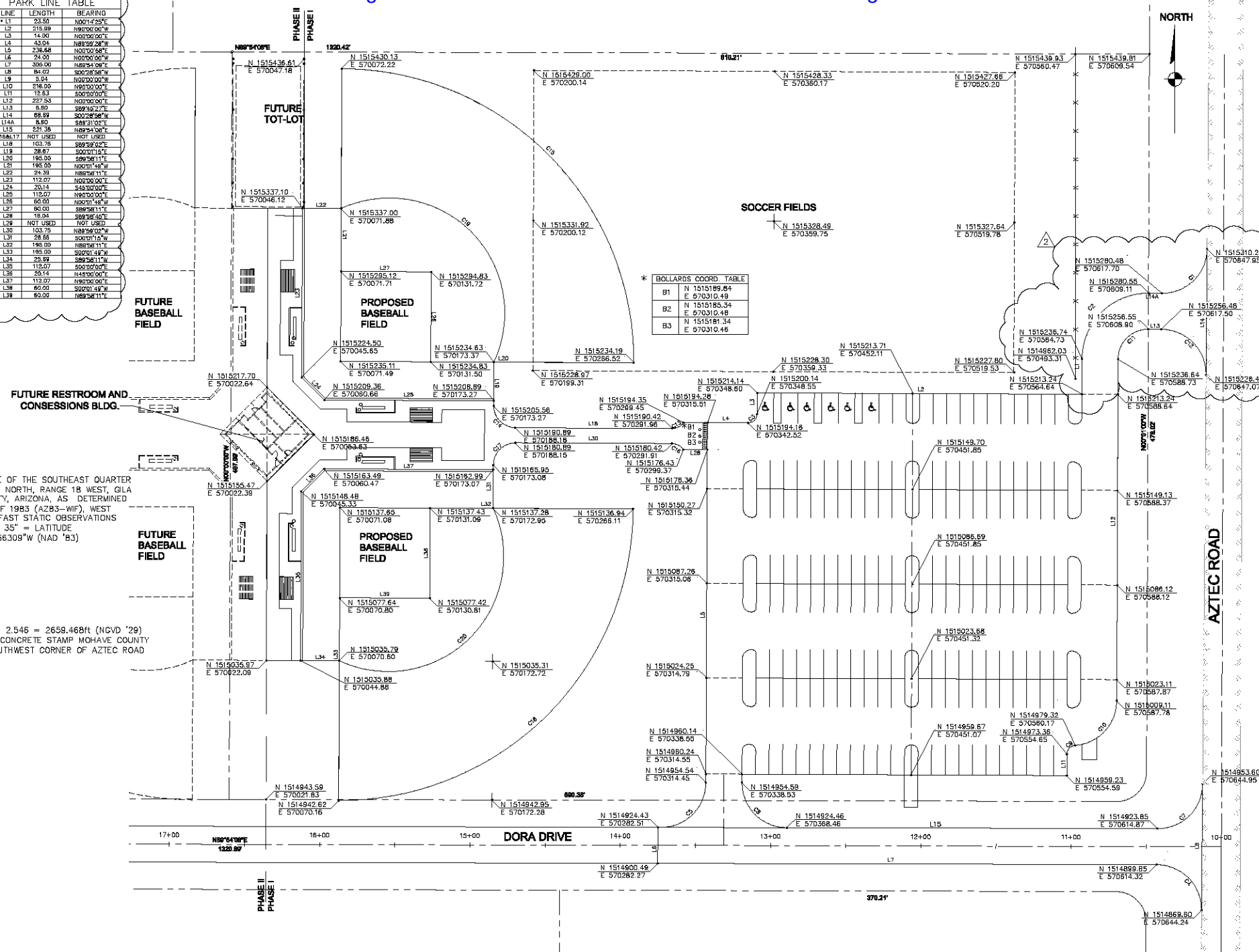
1"=40'	HORIZ
1"=4'	VERT

CURVE	WCTH	RADIUS	TAN	DELTA
C1	47.12	30.00	30.00	00°00'00"
C2	68.40	44.00	44.12	04°12'00"
C3	8.92	6.00	6.00	00°00'00"
C4	NOT USED			
C5	47.56	30.00	29.94	88°30'12"
C6	47.30	30.00	30.00	00°00'00"
C7	48.26	30.00	29.85	89°29'30"
C8	48.18	30.00	29.85	00°00'00"
C9	6.92	6.00	5.55	05°30'00"
C10	44.62	30.00	27.58	88°12'48"
C11	43.56	30.00	27.58	00°00'00"
C12	47.12	30.00	30.00	00°00'00"
C13	8.80	6.03	5.79	50°59'57"
C14	23.55	15.00	14.99	89°56'33"
C15	306.19	15.00	14.99	00°00'00"
C16	8.90	9.03	8.75	90°00'00"
C17	23.57	15.00	15.00	00°00'00"
C18	306.51	195.00	195.00	00°00'00"
C19	181.74	75.72	75.72	135°00'00"
C20	181.74	75.72	299.84	135°00'00"

LINE	LENGTH	BEARING
* L1	23.55	N00°01'E26"
L2	215.89	N00°01'E26"
L3	10.00	N00°01'E26"
L4	43.04	N48°56'30"W
L5	236.68	N00°01'E58"
L6	10.00	N00°01'E58"
L7	305.00	N48°56'30"W
L8	84.67	N00°02'36"W
L9	10.00	N00°02'36"W
L10	298.00	N00°02'36"W
L11	18.63	S00°00'E02"
* L12	227.53	N00°02'E02"
L13	10.00	N00°02'E02"
* L14	89.59	S00°28'36"W
* L14A	8.50	S48°53'E02"
L15	10.00	S48°53'E02"
L16A-L17		NOT USED
L18	103.78	N00°02'E02"
L19	28.87	N00°02'E02"
L20	195.00	N00°02'E02"
L21	195.00	N00°02'E48"
L22	38.87	N00°02'E48"
L23	112.07	N00°02'E11"
L24	20.14	S43°00'E02"
L25	112.07	N00°02'E02"
L26	60.00	N00°02'E02"
L27	20.14	N00°02'E02"
L28	18.04	S00°03'E02"
L29	10.00	S00°03'E02"
L30	103.75	N48°56'30"W
L31	28.86	S00°02'E11"
L32	195.00	S00°02'E11"
L33	195.00	S00°02'E48"
L34	25.59	S08°52'E11"
L35	10.00	S08°52'E11"
L36	20.14	N00°02'E02"
L37	112.07	S00°02'E48"
L38	80.50	N00°02'E48"

NORTH 00°12'47" EAST - THE EAST LINE OF THE SOUTHEAST QUARTER,
(SE 1/4) OF SECTION 27, TOWNSHIP 21 NORTH, RANGE 18 WEST, GLA
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DESCRIPTION: 1 1/2" ALUMINUM CAP IN CONCRETE STAMP MOHAVE COUNTY
1999 "RLS 10343", LOCATED AT THE SOUTHWEST CORNER OF AZTEC ROAD
& BOLSA DRIVE.

[illegible]

SCALE (H) 1"=30'

SCALE (V) NA

DRAWN BY VND

CHECKED BY MPB

DATE 11-15-2005

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Stanley Consultants INC.

PHODES HOMES ARIZONA, LLC
AZTEC PARK
HORIZONTAL CONTROL PLAN

SHEET
HC-1
9 OF 10 SHEETS
SCI PROJECT#
18162.01.00



NOTE:

1. INSTALL ONE PARKING BARRIER FOR EACH PARKING STALL INCLUDING ANCHOR PINS. ANCHOR PINS TO BE 3/4"x2"-6" SMOOTH STEEL RODS, (2 PER BARRIER). SEE DETAIL, SHEET DT-2.
2. ALL ACCESSIBLE PARKING SPACES ARE VEHICLE ACCESSIBLE IN CONFORMANCE WITH "UNIVERSAL" PARKING SPACE DESIGN PER 28 CFR PART 35 APPENDIX SECTION A4.6.3 PARKING SPACES, FIGURE A5(b). UNIVERSAL PARKING SPACE DESIGN.

5820 S. Eastern Avenue, Suite 200
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Stanley Com

RHODES HOMES ARIZONA, LLC

**AZTEC PARK
TRAFFIC CONTROL PLAN
COUNTY**

ARIZONA

SHEET
TC-1
10 OF 10 SHEETS

SCI PROJECT#
18162.01.00